



Permit Application Requirements

Complete permit application, online or in-person.

If a contractor is hired, the contractor must register and bond with the Village of Hanover Park. Include a copy of their proposal with the application. If owner is doing the work, then the owner shall provide a scope of summary, list of materials and sign an owner Affidavit.

All electrical work shall comply with all requirements of the currently adopted National Electrical Code, ComEd electrical service requirements and all amendments of the Village of Hanover Park.

Submit a copy of a non-reduced Plat of Survey showing all existing structures, any overhead wires, and the proposed deck location with dimensions and setbacks in respect to property line and house structure.

At minimum, the following drawings shall be required, prepared by a licensed professional, or issued through a design software from retailer:

- A plan view - the deck plan is to be drawn, to scale (1/4" per foot preferred). A description of the floor decking, the floor joist size, span and spacing and the beam sizes should be clearly marked. Sizes of piers and posts must be indicated. Overall and pier dimensions must be indicated. Any attachment to the existing structure should be shown.
- A section drawing of the deck - a section should be shown through the new deck. Indicate the deck height above grade and the foundation pier depth, diameter extension above grade. Handrail/Guard Rail height and description, stair rise and run, and details and anchor bolt connections should be clearly shown.

Call J.U.L.I.E. (Joint Utility Locating Information for Excavators) at 800-892-0123 at least 48 hours before any digging. The dig number MUST be on the permit prior to issuance. J.U.L.I.E. will mark the location of underground utilities. You should call JULIE immediately if an underground utility line is hit by accident during digging.

Construction Requirements

A deck is permitted in the rear yard only.

It must be located at least five (5) feet from the side property line and at least ten (10) feet from the rear property line.

It cannot encroach over, under or on top of any utility or drainage easements.

It cannot be located below any overhead electrical wires which are less than twelve (12) feet above the finished deck surface.

Decks may not be in the front or in corner-side yards.

Decks in multi-family districts must be located at least five (5) feet from the rear lot line.

Decks on end multi-family units must be located at least five (5) feet from the side lot line.

Lumber used in the floor system shall be minimum of #2 and better, bolts, hangers and flashings shall be compatible with the lumber being used and the current IRC.

When joists frame into beams, hangers shall be used for support.

Deck framing must be supported on concrete pier-type foundations with pier depth 42" below grade. Utilizing a patio concrete slab for support is not permitted. Wood support posts are not permitted below grade.

The code requires that any deck 30" or more above grade must have a guardrail, 36" above the walking surface, around the perimeter with intermediate rail closure which will not allow passage of an object 4" or more in diameter. This includes a change in elevations between deck levels on a multi-level deck.

All stair risers shall be of equal height. The maximum riser height is to be 7-3/4" and the minimum riser height is to be 4". The minimum clear tread depth is to be 10". All stairs shall be a minimum of 3' wide. Provide a graspable handrail, 34" to 38" above the nosing, on one side of a stair with 4 or more risers.

Dirt removed from your project should be hauled away or placed in an area which will not interfere with storm water drainage. Village regulations prohibit the filling of drainage swales. If you have any questions on where to place the dirt, contact the Engineering Department at 630-823-5700.

To ensure proper lateral support, bracing, bridging, and/or blocking may be required.

Where supported by attachment to an exterior wall, decks shall be positively anchored to the primary structure and designed for both vertical and lateral loads. Such attachment shall not be accomplished using toenails or nails subject to withdrawal. Where positive connection to the primary building structure cannot be verified during inspection, decks shall be self-supporting.

For decks with cantilevered framing members, connections to exterior walls or other framing members, shall be designed and constructed to resist uplift resulting from the full live load acting on the cantilevered portion of the deck.

The lag screws or bolts in deck ledgers and band joists shall be placed in accordance with the currently adopted version of the IRC.

Deck ledger connections not conforming to the currently adopted version of the IRC shall be designed in accordance with accepted engineering practice. Girders supporting deck joists shall not be supported on deck ledgers or band joists. Deck ledgers shall not be supported on stone or masonry veneer.

Lateral load connection devices shall be installed in not less than two locations per deck, and each device shall have an allowable stress design capacity of not less than 1500 pounds.

Inspections

A minimum of 24-hour notice is required for all inspections. To schedule an inspection, or if you have any questions, please contact the Fire Department's Inspectional Services Division at 630-823-5860.

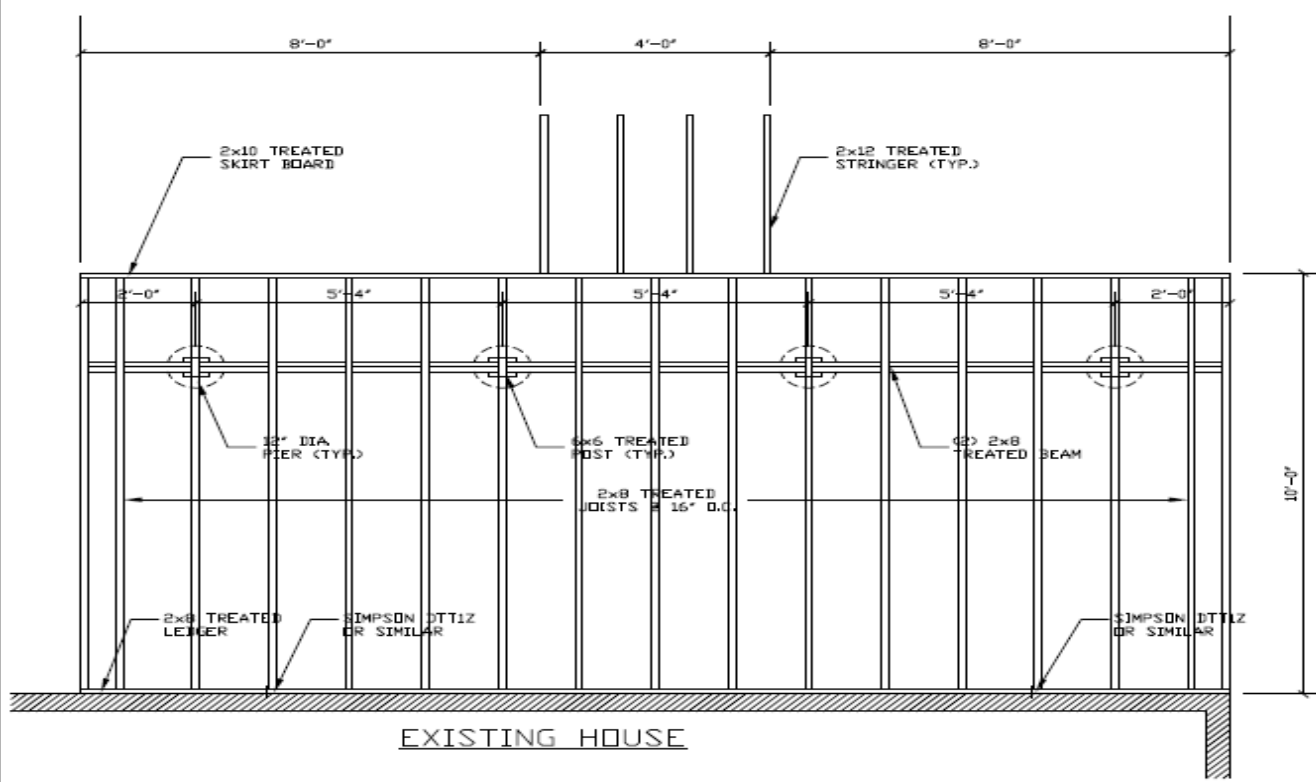
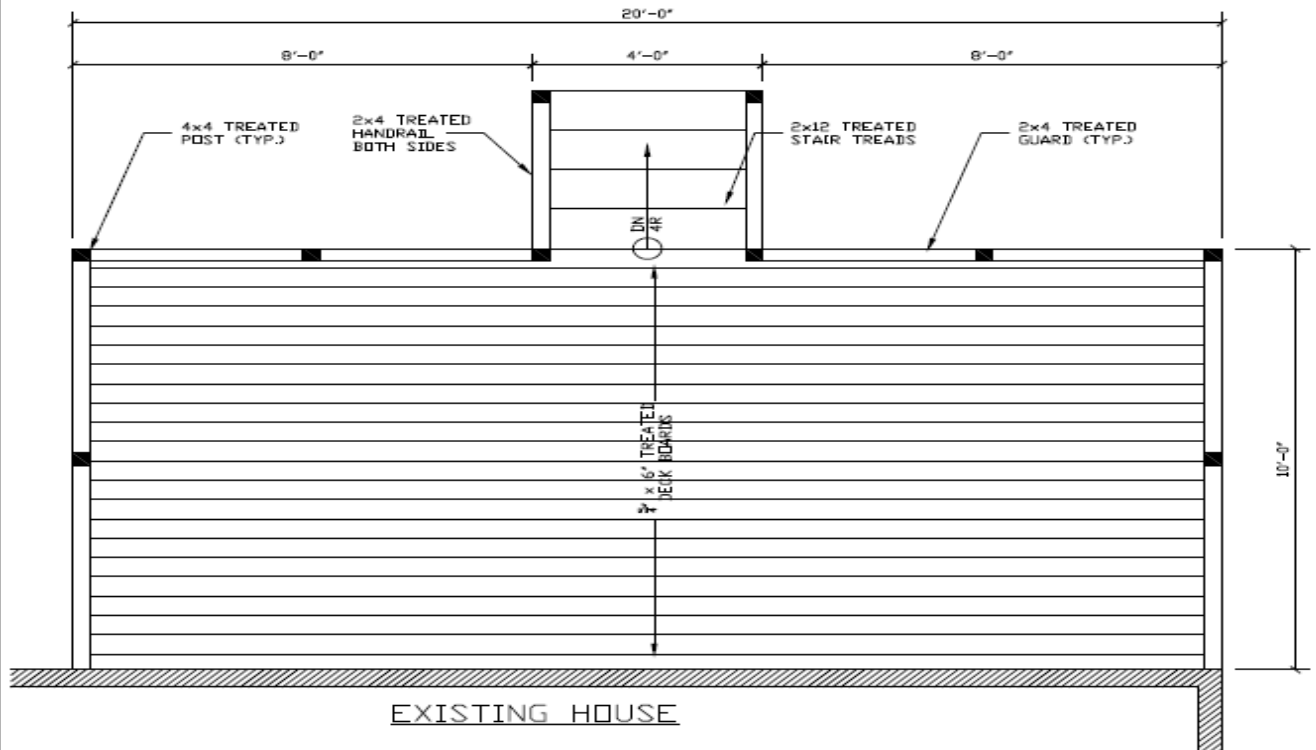
An inspection of deck footings is required before the concrete is poured.

A rough framing of the deck structural members and connections is required.

A final inspection is required when the deck is completed.

General Information and Reference

VILLAGE OF HANOVER PARK FIRE DEPARTMENT



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