



Hanover Park^{USA}

SANITARY CHECK VALVE PROGRAM

(VILLAGE COST SHARING – 75% of ELIGIBLE COSTS, UP TO \$3,000)

IN ORDER TO QUALIFY FOR THE VILLAGE OF HANOVER PARK SANITARY CHECK VALVE COST SHARING PROGRAM:

The perimeter drain tile and any other source of ground water or storm water must be disconnected from the Village sanitary sewer. Installation of a sump pit and pump is required, if not already in place. The sump pump shall discharge the water onto the ground, to the front or rear of the property. (Note: This requirement is not applicable if a sump pump for perimeter drain tile already exists.)

SANITARY CHECK VALVE PROGRAM

Table of Contents

Program Description.....	2
Drawings & Exhibits	4
Typical Check Valve & Cleanout Installation	4
Sump Pit Diagram.....	5
Clean Check Valve	6
General Plumbing Notes.....	8
Application Instructions	9
Forms	10
Permit Application	10
General Information Form.....	11
Homeowner Participation Agreement.....	12
Request for Reimbursement Form.....	13

SANITARY CHECK VALVE PROGRAM

1. What is it?

The Sanitary Check Valve Program was established to provide financial assistance to homeowners who desire to protect their home from sanitary sewer back-ups. Eligible homeowners may qualify for a 75% cost sharing, up to a maximum of \$3,000.00 for installing a sanitary check valve system which can protect their basements from sanitary sewer back-up.

2. How does the Check Valve work?

The check valve is a flapper that is installed on the lateral sanitary sewer line that leads from your house to the Village sanitary sewer. When the sanitary drain is flowing under normal conditions the flapper is open in the direction of flow. In the event of a flood or “backflow” the flapper closes and prevents sewage from back flowing into the house. The check valve needs to be cleaned, maintained, and checked periodically to insure proper operation. The recommended check valve is the Clean Check Valve as produced by “Clean Check Inc.” See attached catalog information on pages 4a & 4b. A clean out needs to be installed in front of the check valve, (downstream) so that the lateral line can be cleaned without the router going thru the check valve and damaging it. See sketch on page 4.

3. Is there anything else I should know?

Yes, in order to qualify for this program, the proposed Check Valve Installation by your plumber must accomplish several things:

First, the perimeter drain tile and any other source of groundwater or storm water must be disconnected from the sanitary sewer. Installation of a sump pit and pump is required. The sump pump is to discharge the groundwater and storm water onto the ground, to the front or rear of the property.

(Note: This requirement is not applicable if a proper sump pit for perimeter drain tile already exists.)

SANITARY CHECK VALVE PROGRAM

A check valve needs to be installed per sketch A, page 4. The plumber needs to provide two sets of drawings which communicate all of the work being performed. A detailed and itemized invoice for all work being performed is required to be submitted to the Village for review, for Village Cost Sharing.

Install a “clean-out”, outside of the house, downstream of the check valve.

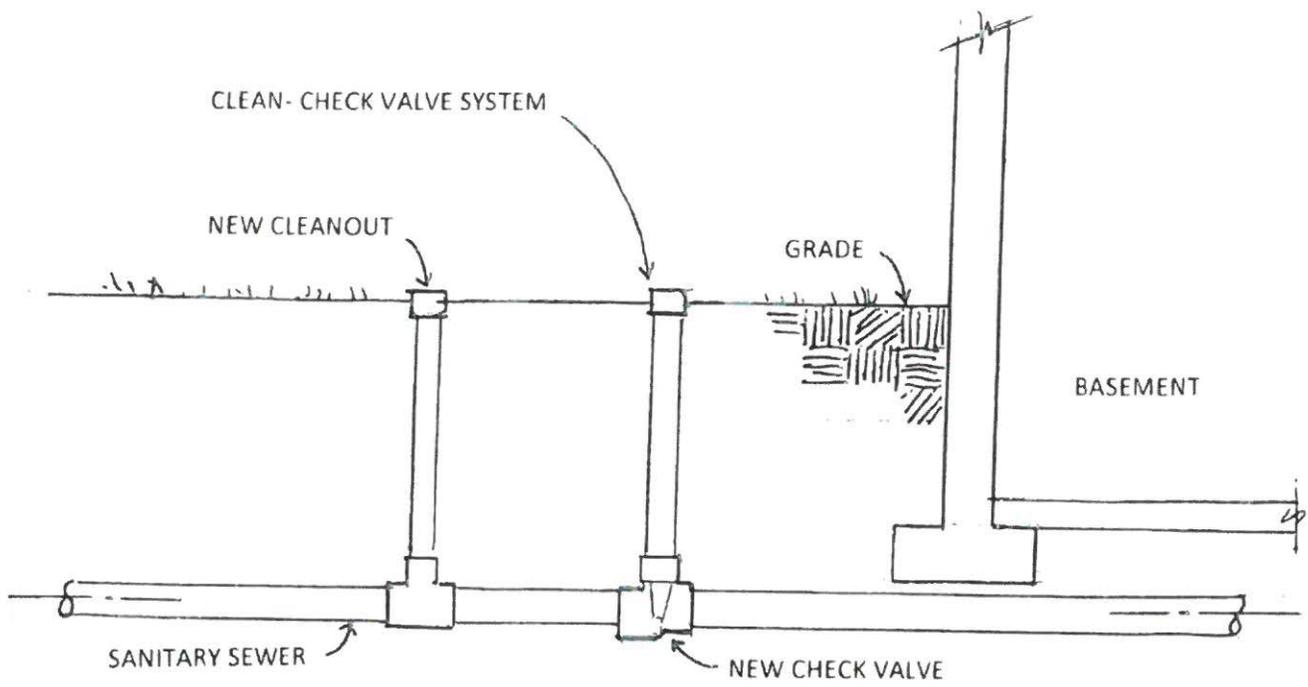
Furthermore, there are certain costs which are eligible for Village Cost Sharing and others that are not.

Eligible costs are as follows:

- Cost of location, excavation and exposure of the house lateral sewer line including the support of existing structures for re-connection of a check valve & clean-out to the existing lateral.
- Cost of trenching and concrete floor repairs.
- Cost of grass seeding to restore disrupted grass/lawns.
- Applicable permit fees.
- Installation of storm water sumps or associated piping pits or materials.

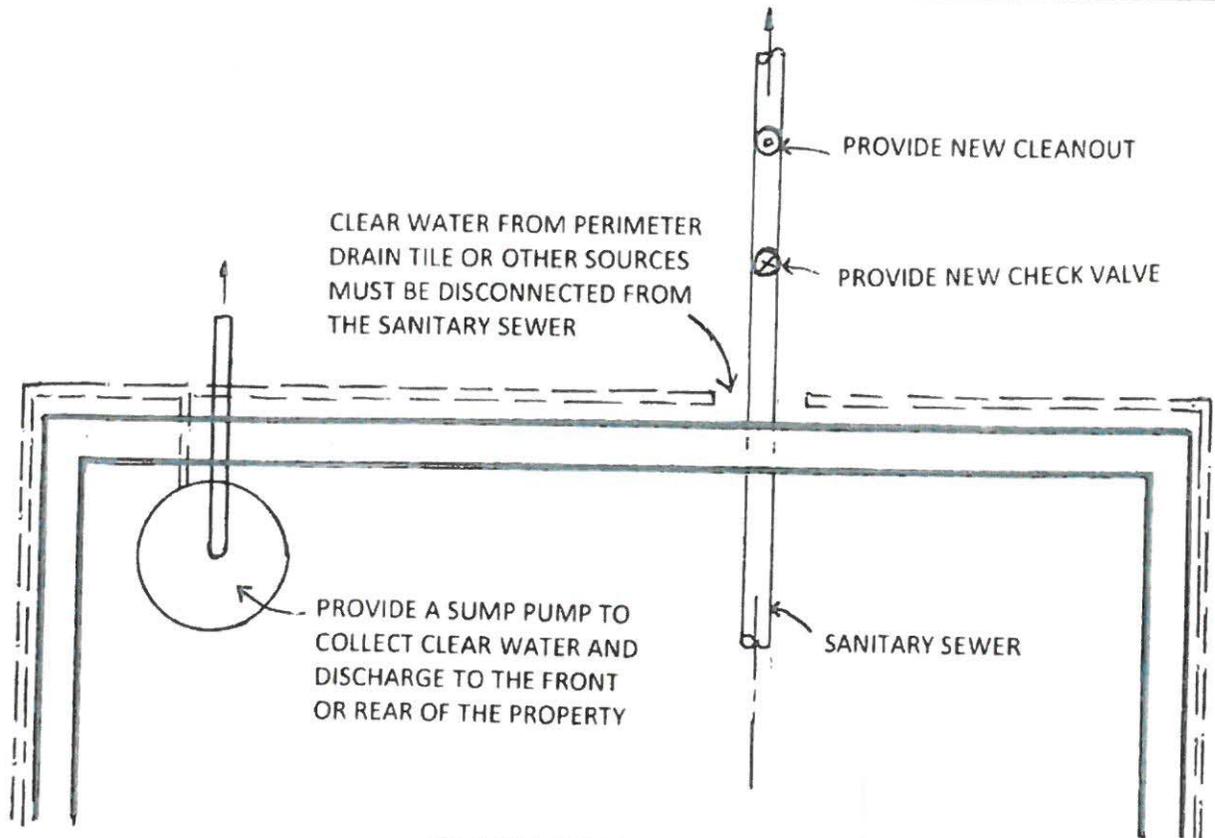
Non-Eligible Costs

- Removal and Replacement of interior walls and finishes.
- Use of materials not meeting the requirements of the Village’s guide specifications or Village codes.
- Ancillary homeowner improvements not necessary to provide sanitary sewer back-up protection of the basement.
- Planting or replacement of new landscaping (bushes, trees, sod, fences, walls, etc.)
- New electrical panels and/or upgrading the house electrical supply.
- Installing a Check Valve & Cleanout when your house already has an overhead sewer system.



SECTIONAL VIEW

NTS

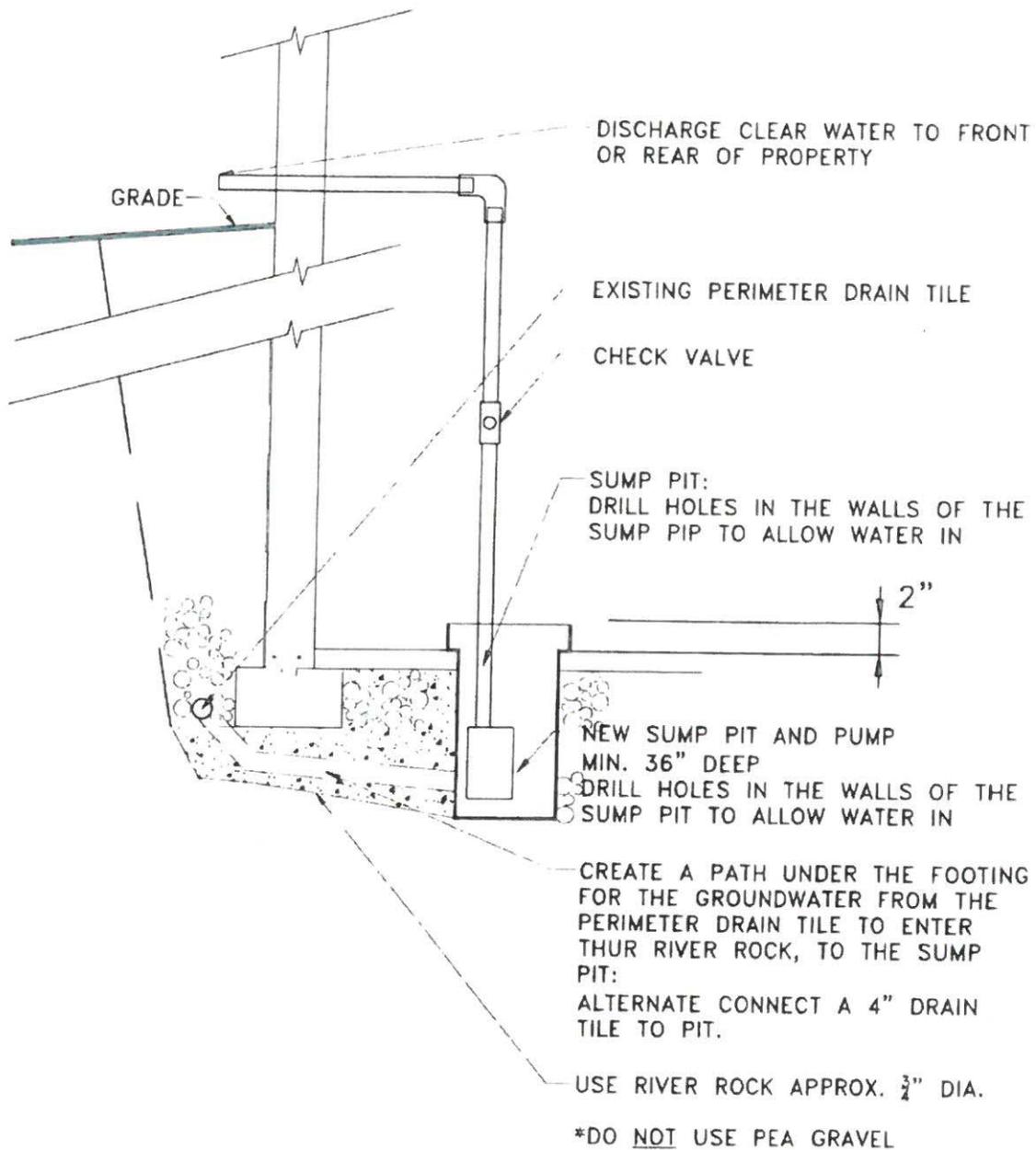


PLAN VIEW

NTS

STORM WATER SUMP PIT DIAGRAM

THIS DIAGRAM DEPICTS HOW TO INSTALL A STORM WATER SUMP PIT IN AN EXISTING BASEMENT IN ORDER TO MEET THE REQUIREMENTS OF THE "OVERHEAD SEWER PROGRAM" AND/OR THE "CHECK VALVE PROGRAM".



The Simple, Revolutionary Extendable Backwater Valve Kit.



A CSW Industrials Company

Ground level accessibility.

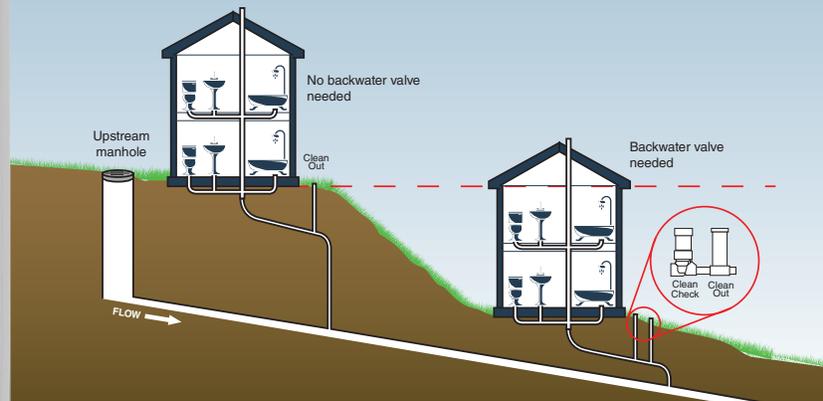


Up to 12' below grade

- Prevents the reverse flow of backwater into a structure as a result of a plugged sewer system, excess volume in the system or ground water flooding.

- Installs discretely outside, below grade, between the structure and the standard clean-out.

- Lifts up and out of housing for above ground maintenance and inspection.



Inground flapper eliminates costly manhole.

Waste water flow from structure. (Flapper opens)

Reverse backwater flow from sewer line. (Flapper seals closed)

Clean Check®

US Patent No. 5,234,018

Extendable Backwater Valve Kit



Code	Description	Qty.
97023	3" PVC	1
97024	4" PVC	1
97026	6" PVC	1
97033	3" PVC w/adaptor & plug	1
97034	4" PVC w/adaptor & plug	1
97003	3" ABS	1
97004	4" ABS	1
97013	3" ABS w/adaptor & plug	1
97014	4" ABS w/adaptor & plug	1
96980	3"-4" flapper (current style)	1
96981	3"-4" flapper (original style before 2015)	1
96982	6" flapper	1
97002	3"-4" ABS rebuild kit	1
97022	3"-4" PVC rebuild kit	1
97025	6" PVC rebuild kit	1

Application • Prevents sewage backup into plumbed structures as a result of a plugged sewer system, excess volume in the system or groundwater flooding.

Recommended for • PVC • ABS

FEATURES

- No manhole required
- Installs discretely outside - up to 12' below ground level
- Above ground outdoor maintenance accessibility eliminates hidden access indoor applications, and the sewer odor and mess of indoor maintenance
- Meets IPC, UPC, ICC, IRC, CSA plumbing codes listing requirements



Lower Collar with Flapper. 3" and 4" collars accept both 2" and 4" standard pipe 6" Clean Check collars accept standard 4" pipe.

Optional Clean-out with adapter plug ▶

Replaceable 75 PSI flapper



Snap-in, pull-out flapper

Available in 3", 4" and 6" sizes ▶

◀ Valve Body

◀ Upper Collar

RectorSeal® 2601 Spenwick Drive - Houston, TX 77055 800-231-3345 rectorseal.com

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SANITARY CHECK VALVE PROGRAM

GENERAL PLUMBING NOTES

1. In order to qualify for the Sanitary Check Valve Program Cost Sharing: The perimeter drain tile, and any other source of storm water must be disconnected from the sanitary sewer. Installation of a sump pit is required to discharge the groundwater and storm water on the ground to the front or rear of the property.
2. Use SDR 26 for sewer pipe. If there is less than a 10ft separation to the water service, water main quality pipe must be used (D2241 or C900).
3. Where manufactured pipe joints cannot be utilized or where dissimilar materials are joined, “non-shear” type couplings shall be used for connections.
4. Connections of SDR 26 laterals to VCP / SDR 26 PVC sanitary sewer main shall be made with a stainless-steel band and gasketed saddle connection.
5. PVC pipe for drain waste and vent is permitted for use above ground and is permitted underground and under the slab inside the building
6. Provide a clean-out just outside of the building, in front of (downstream) the check valve.
7. The Contractor shall restore all interior and exterior surfaces disturbed due to excavation in-kind.
8. The application shall include a detailed description of all work.

SANITARY CHECK VALVE PROGRAM

INSTRUCTIONS ON HOW TO APPLY

STEP 1:

Contact the Public Works Department at 630-823-5700 to confirm eligibility. Be prepared to discuss the sanitary sewer issues you have had in the past and are wanting to address. You may pick up the Sanitary Check Valve Program with the application at Village Hall or print a copy from our website at **hpil.org**. Type in “Sanitary Check Valve Program” in the search engine and click on the link.

STEP 2:

After being deemed eligible, contact and receive at least three quotes from plumbers. Have the plumbers prepare drawings and provide a written proposal which details the scope of work. The lowest priced plumber shall be used unless otherwise authorized by the Director of Public Works. Also, complete the following forms:

- **Permit Application** (page 9)
- **General Information Form** (page 10)
- **Homeowner Participation Agreement** (page 11)

Submit the drawings, proposal, & forms to the Public Works Department at 2041 W Lake Street. The Cost Sharing by the Village is 75% up to a maximum of \$3000, based on available and budgeted funds.

STEP 3:

The drawings will be reviewed and will either be approved as noted or returned for revisions. When drawings receive approval, the permit will be issued by the Inspectional Services Department, and the plumber can start the work.

STEP 4:

The plumber needs to contact the Inspectional Services Department (630-823-5860) to schedule normal inspections during the course of work and at completion for a final inspection.

STEP 5:

After the work has been inspected and approved, the homeowner needs to pay the full amount to the plumber and then needs to submit the following to the Public Works Department to get reimbursed:

- Completed “Request for Reimbursement Form”.
- A copy of a paid & itemized invoice from the plumber who did the work.
- A copy of the cancelled check (both sides) that the homeowner paid for the work.

STEP 6:

“**WAIT**” – The Village’s reimbursement check will be mailed within approximately three business days after **all of the required paperwork** is submitted to the Public Works Department.

PERMIT NO. _____

BUILDING PERMIT APPLICATION

For Accessory Structures, Remodeling and Room Additions Village of
Hanover Park Fire Department Inspectional Services Division
(630) 823-5860 iservices@hpil.org Fax (630) 823-5782

CUSTOMER DATA

Name of Owner or Tenant: _____
Property Address: _____
Daytime Phone _____ E-Mail: _____

CONTRACTOR DATA

Name of Contractor: _____
Address of Contractor: _____ Contact Person: _____
City: _____ State: _____ Zip: _____
Daytime Phone _____ E-Mail: _____

PROPOSED PROJECT DATA

CONSTRUCTION VALUE: \$ _____
(Materials and Labor/Install Costs)

DESCRIPTION OF WORK: J.U.L.I.E. Dig Number _____ (when applicable)

_____ Mechanical: () Furnace () A/C	_____ Deck	_____ Roof
_____ Water Heater	_____ Garage	_____ Windows
_____ Driveway: () Asphalt () Concrete () Pavers	_____ Patio: () Concrete () Pavers	
_____ Fence: () Wood () Chain () PVC/VINYL () Replace () New Height of Fence: () 3' () 4' () 5' () 6'		
_____ Shed: Size: _____x_____	_____ Swimming Pool: () Above Ground () In Ground	
_____ Remodeling or Addition: Describe: _____		
_____ Electrical Work: Describe: _____		
_____ Plumbing Work: Describe: _____		
_____ Other: Describe: _____		

OFFICE USE ONLY

_____ OFFICE COPY
_____ JOB COPY
_____ ADDITIONAL COPY

SANITARY CHECK VALVE PROGRAM

GENERAL INFORMATION

Name: _____

Address: _____

Phone: (Home) _____ (Work) _____

Date you moved into this home: Month _____ Year _____

Plumbing Contractor's name _____ cell phone # _____

Are your downspouts connected to the Village's sanitary sewer system? Yes No

Are your downspouts connected to the Village's storm sewer system? Yes No

Does your home have an outside catch basin? Yes No

Does your home have exterior foundation perimeter drain tile? Yes No

Does your home have a sump pump for the perimeter drain tile? Yes No

If yes, does your **Sump pump** discharge to Front, Rear, Side, or is it connected to the Storm Sewer in the street? (Circle one) FRONT REAR SIDE STORM SEWER CONNECTION

Does your house presently have an overhead sewer system? Yes No

How many basement sanitary back-up events have you experienced?

Since 1990 _____ Since you have occupied your home _____
(Documentation of flooding may be required to qualify for participation in the program)

Application Materials Required

Each of the following documents **must** be attached to this application in order for the application to proceed and for a permit to be issued:

1. Copy of the detailed proposal & drawing from three different plumbing contractors. The lowest priced contractor shall be used unless otherwise authorize by the Director of Public Works.
2. Copy of the signed Homeowner Participation Agreement & completed General Information Form.
3. Completed permit application form (with all applicable fees paid).

Office Use Only:

- Reviewed for Eligibility: _____

PW Review

Date

SANITARY CHECK VALVE PROGRAM

Homeowner Participation Agreement Village of Hanover Park

I understand and agree that the Village of Hanover Park established the Sanitary Check Valve program to assist residents in protecting their home from flooding due to sewer backups. The program provides for 75% reimbursement of eligible costs up to a maximum of \$3,000.00.

Prior to the installation of any plumbing work, the specific plans including the Proposal shall be submitted to the Village for review and approval. No work shall commence until Village approval is obtained and a permit is issued. The Village shall be notified to inspect the plumbing and electric work as required under any permit.

Reimbursement of eligible items at approved amounts will be made after work is completed, inspected and approved by the Village. A completed "Request for Reimbursement" form must be completed and submitted with other documentation, such as the detailed invoice and a copy of the cancelled check (both sides) which evidences that the project was paid for, in full, by the homeowner.

Liability – The Village shall have no liability for any defective work or other damage, injury and/or loss on account of any act or omission of the Contractor in the performance of the work. The Homeowner shall make any claim for such matters directly against the Contractor or Contractor's insurance carrier. Homeowner hereby agrees to indemnify and hold Village harmless against any and all claims and further covenants not to sue the Village for any and all claims, as no system is absolutely failsafe. Further, homeowner shall indemnify the Village from any judgement, cost, or expense related to the work on the property.

Disclaimer – The Program is designed to substantially reduce the risk of basement backups. However, there is always risk of basement backup as a result of unexpected sewer collapse, obstruction, power failure, extreme environmental conditions or other foreseeable or unforeseen factors. Proper operation of foundation drains is necessary to prevent seepage of ground water through walls below grade. Existing foundation drains tested for proper operation is not part of the Program—the Homeowner has the responsibility for all testing, inspections and any corrective work that may become necessary. (The homeowner is reminded that footing drains, storm water tiles and all perimeter drains must be disconnected from the sanitary system. Storm water/ground water discharges shall be disposed of properly)

In addition, reliable continuous functioning of Homeowner's sump/ejector pump(s) is necessary for foundation drains to function properly. The Homeowner shall have the responsibility to check the operation of the pumps regularly. The Homeowner shall have the responsibility for all testing, inspections and any corrective work that may become necessary for regular and periodic maintenance. It is further recommended that the Homeowner install a battery backup system to provide protection in the event of power failure.

Breach – If the Homeowner fails to comply with all requirements of this Agreement or to complete installation as provided in this Agreement, the Village shall have no obligation to reimburse the Homeowner.

I understand and agree with all of the above statements and agree to comply accordingly.

Homeowner – Printed Name

Signature

Date

Property Address

SANITARY CHECK VALVE PROGRAM

Request for Reimbursement Form Village of Hanover Park

Name: _____

Address: _____

Phone: (home) _____ (work) _____

Date plumbing work was completed: _____

Plumbing permit number issued: _____

Plumbing contractor who performed work: _____

Total cost of eligible expenses: _____

Total amount of reimbursement requested: _____

(75% of eligible expenses not to exceed \$3,000)

Owner Certification

I, _____ am the homeowner of the premises indicated above and I certify that all of the information contained on this Request for Reimbursement Form is true and accurate to the best of my knowledge.

Signature

Date

Village Certification

As an authorized agent of the Village of Hanover Park who administers the Sanitary Check Valve Program, I certify that I have reviewed all the necessary paperwork associated with above mentioned "Sanitary Check Valve Program Application & Permit", and found them in compliance with the provisions of the Program. Therefore, I recommend the reimbursement amount be paid.

T. J. Moore
Director of Public Works

Date